



Phase 12 – August 2023

## Design Guidelines

Rohit Land Development

---

# TABLE OF CONTENTS

## INTRODUCTION TO HEARTLAND (page 2)

- a. Overview
- b. Summary of Product and Styles

## SITE DESIGN (pages 2-3)

- a. Site Coverage, Setbacks, Home Height, Width, Home Size and Requirements
- b. Repetition (Elevations and Colours)
- c. Lot Types

## ARCHITECTURAL STYLES AND DETAILING (pages 3-6)

- a. Front Elevation Requirements for all Styles
- b. Craftsman Style
- c. Arts & Crafts Style
- d. Prairie Style
- e. Homestead Style
- f. Garage Door Examples

## EXTERIOR MATERIALS AND COLOURS (pages 6-7)

- a. Wall Finishes
- b. Trim Requirements
- c. Parging
- d. Masonry Requirements
- e. Roofing Requirements
- f. Chimneys, Metal Flues, Roof Vents
- g. Driveways, Parking Pads and Sidewalks
- h. Accessory Buildings

## High Profile Rear AND Corner Elevations (page 7)

- a. High Profile Rear Elevation Requirements
- b. Corner and Walkway Side Elevations

## GRADING, LANDSCAPING AND FENCING (pages 8-9)

- a. Lot Grading
- b. Lot Landscaping and Tree Planting
- c. Fencing (Wood Screen and Chain Link)

## DESIGN REVIEW PROCESS (pages 9-10)

- a. Design Submission Process
- b. Design Submission Package
- c. Review Process
- d. Final Lot Inspection Process

## CONSTRUCTION REGULATIONS (pages 10-12)

- a. Storage of Materials and Equipment
- b. Use of Site
- c. Sanitary Facilities
- d. Noise and Pets
- e. Restoration or Repair of Damaged Property
- f. Vehicles and Parking
- g. Miscellaneous and General Practices
- h. Non-Compliance

## OTHER INFORMATION (page 12)

## DIRECTORY OF CONTACTS (page 12)

## APPENDIX "A" – Phase 12 Marketing Map (page 13)

# INTRODUCTION TO HEARTLAND

## a. Overview

Located on the west side of Cochrane and across from the existing community of Heritage Hills

This community sits in the Bow River Valley and on the edge of the Foothills. Using traditional building forms, Heartland ties in the features, uniqueness, and history of Cochrane as well as Western Alberta. Homeowners who live in Heartland will experience in their community what they can experience outside of the community such as shopping, entertainment, and recreation all just minutes away.

## b. Summary of Product and Styles

The Design Guidelines are intended for use by Builders, Designers and Architects to become familiar with the required elements of the community. The Guidelines also ensure the successful marketing and establishment of a quality living environment for the community, one that is distinctive yet offers variety and choice to the Homeowners.

The application of specific style elements will establish a sense of identity, structure, continuity, cohesiveness and a sense of distinction to homes within Heartland. The outcome will be a varied palette of design and imagery set against a strong, consistent architectural foundation.

Four traditional Architecture styles have been chosen for Heartland; Craftsman, Arts & Crafts, Prairie, and Homestead. These styles are discussed in further detail within the Architectural Styles section of this document.

The Heartland Design Review Committee must review and approve any deviation from the information presented herein.

# SITE DESIGN

Design Guidelines are established to provide architectural control for building form siting and color, and to obtain the best possible streetscape appearance. Emphasis will be on creating a strong "curb appeal" to each home through attention to detail on the front elevation, high visibility elevations, such as corner lots, and lots backing onto open spaces.

## a. Site Coverage, Setbacks, Home Height, Width, Size and Requirements

Standards and approvals recognize the specific size, nature and location of a site to avoid the home overpowering or under-utilizing the lot. Submissions will be evaluated on a lot by lot basis. Consideration is also given to optimizing sight lines and creating acceptable size transitions between adjacent homes.

- The overall site coverage percentage and home location must be in accordance with the Town of Cochrane Land use By-law and must respect all utility rights-of-way, easements, etc.
- Lots in phase 12 are zoned for R1 (R-LD).
- All Minimum setbacks must be in accordance with Town of Cochrane Land Use Bylaw.
- The maximum height of principal buildings must be in accordance with the Town of Cochrane Land use By-law.
- Houses are to have a consistency of mass and volume within the streetscape. As such, house width and size must relate proportionately and logically to the lot width and neighboring homes.
- The second-floor area should be carefully designed. Minimum exposed house frontage will be established based on the pocket size of the lot as per the table below. A maximum 2' pocket relaxation will be permitted.
- House Size and Pocket Fill (RSL)

Minimum House Size	Minimum Entry Area	Maximum Garage Width	Minimum House Size	Minimum Entry Area	Maximum Garage Width
30'	6'	24'	24'	4'	20'
28'	6'	22'	22'	4'	n/a
26'	4'	22'			

\*Note: Frontage calculations are based on the home width not pocket width i.e. a 28' wide home with the calculations can be placed on 30' pocket.

- Minimum home size shall be 1,200 sq. ft. for two storey and 1,000 sq. ft. for bungalow style homes.
- A double car garage with a maximum 2 ft. garage offset will be considered to meet setback requirements. Triple car garages considered on a lot-by-lot basis only if carefully coordinated with existing street fixtures (i.e. service box, light posts etc.). and only if the design is exceptional. Pre-approval of all proposed 3 car garages is required.
- High visibility lots (Block 46: Lots: 33 - 53) must maximize the rear elevation to the equivalent of the front elevation (i.e. a 24' wide front elevation to have equivalent 24' wide rear elevation or a 22' rear elevation with a 2' garage offset)
- Pie shaped lots will be reviewed on a lot-by-lot basis if an exception is required.
- This design guide allows for homes to be built in excess of the minimum requirements noted above. However, the minimums provide the opportunity for variations in size which, when combined with landscaping considerations, will contribute to the ultimate character of the neighborhood.
- Homes will be reviewed on their merits of design, massing, proportion, and compatibility. Exceptional plans which meet the general trend of the neighborhood, may be considered at the sole discretion of the Design Consultant.

#### b. Repetition (Elevations and Colours)

- Same / similar front elevations to be separated by 2 lots on the same side of the street (AbcA)
- Same / similar rear elevations to be separated by 1 lot if on a highly visible lot (AcA)
- Same / similar wall colours (main and/or secondary walls) to be separated by 2 lots (AbcA)
- Same / similar trim, fascia, soffit and rainware may be the same for 2 lots only (WWbbWb)
- Same / similar masonry colour to be separated by 1 lot (AcA)

#### c. Lot Types

- Maximum elevation difference between adjoining lots is 3:1 (33%) prior to requiring retaining walls. Front & rear yards at 5:1 (20%) and driveways at 10:1 (10%) are acceptable. Exceptions will be reviewed on a lot by lot basis. Forced walkouts not accepted.

## ARCHITECTURAL STYLES AND DETAILING

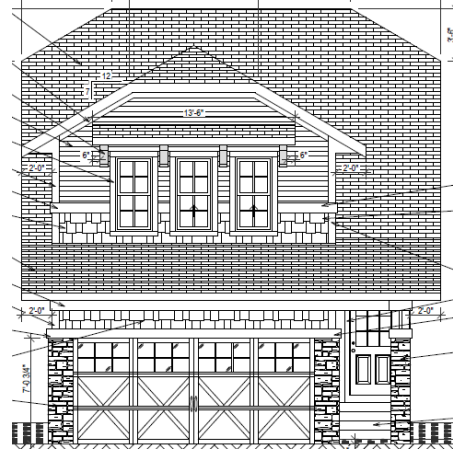
Four traditional forms of architecture have been chosen for the area of HEARTLAND; Craftsman, Arts & Crafts, Prairie, and Homestead. The following is a brief description of characteristics for each form. Colours, materials, and construction details should be appropriate for the style chosen. Detailing should inspire the appearance that it is structurally important or provide importance to the function of the home. Significant variation in roof pitches reflected throughout the different architectural forms will represent the vast landscapes and topography found throughout Southern Alberta and the Foothills.

#### a. Front Elevation Requirements for all Styles

- All windows and doors must have oversized battens (i.e. 4" side with 6" top & bottom etc.)
- Front and flankage elevation corners boards to be 6" Smartboard or equivalent.
- The front door is an important feature of the home, decorative features, such as windows, bold colors, decorative hardware, oversized in height, etc. are required. It is important that the front entrance way complements the overall look of the house.
- Covered front entrance required. Railings must be aluminum (NO wood)
- All front drive home porch stairs to be precast (NO wood)
- Rear drive homes may have composite, cedar or pressure treated wood stairs only if there is a veranda. All porch veranda bases and risers must be closed in with solid material (NO lattice).
- Front porch to be a maximum of 10' from front of garage wall face to front of porch column. Exceptions may be granted by the Developer only if the garage-porch side is upgraded i.e. additional masonry (along full length of wall) etc.
- Second floor setback from front of garage wall face to be a maximum of 9' to the second floor.
- All garage doors to be Carriage style (or equivalent) with 2 pieces of faux hardware (i.e. hinges AND handles)
- Garage doors should have a minimum of 18" masonry sides with 2' side returns.
- All garage doors MUST match the primary wall colour (51% or greater) on the Front Elevation

**b. CRAFTSMAN STYLE - Key features:**

- Simple, uncomplicated building shapes and forms.
- Lower pitched gable roofing, typically between 5/12 to 7/12 slopes with wider eaves, i.e. 24".
- Steep pitched roof lines on side elevations to provide look of second floors built into the main roof line, or the look of 1 1/2 story.
- Detailing to provide a heavy grounded appearance - use of stone base accents.
- Brackets, when used, should appear structural and have purpose.
- Alternate accent wall materials i.e. wall shakes, board and batten etc. Vinyl is accepted.



Drawings are examples only and may not reflect all Guidelines required

**c. ARTS & CRAFTS STYLE - Key features:**

- Strong primary, clear, simple shaped roof with that embraces the house, sometimes extending down to the top of the main floor.
- Detailing i.e. brackets, gable trusses, flared column bases with stone, arched or flared battens,
- A mix of wall materials such as wall panels or board and batten.
- Stone bases are typically a feature of this style.



Drawings are examples only and may not reflect all Guidelines required

d. PRAIRIE STYLE - Key features:

- Hip roofs required, with low sloped pitches such as 4 - 5/12 and min. 24" eaves where possible.
- Create emphasis on low and horizontal oriented elements.
- Bands of windows integrated with simple clean lined details.
- Masonry detail at the base to ground the home.



Drawings are examples only and may not reflect all Guidelines required

e. HOMESTEAD STYLE - Key features:

- Uses a clearly defined shape, with an overall massing that would have been easy and uncomplicated to build.
- Simple gable roofs featuring moderate slopes of 7/12 – 9/12 with moderate eaves of 18".
- Typically, this style would have had "additions" to the home, to expand for the needs of a growing family, these additions where accented or wall material changes would be used.
- Board and Batten detailing.
- Large simple window forms symmetrically placed.
- Emphasis of additional detailing should be focused on the lower half of the house and be oversized, simplistic, and functional.

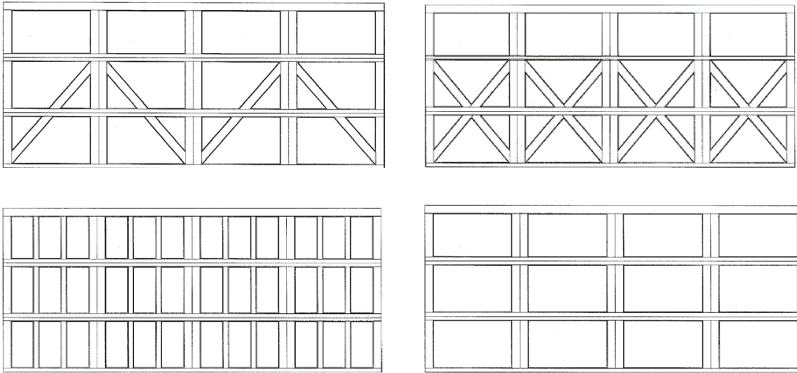


Drawings are examples only and may not reflect all Guidelines required



## f. Garage Door Examples

- White doors allowed only if the majority of the front elevation has white walls.
- Examples of acceptable garage door styles below:



# EXTERIOR MATERIALS AND COLOURS

## a. Wall Finishes

- Vinyl, composite board (i.e. Hardie Board), board & batten, wall shakes allowed for walls.
- Stucco is NOT accepted.

## b. Trim Requirements

- Smartboard or equivalent required for all battens, wall trim, Front & Flankage corner boards.

## c. Parging

- A maximum of 600 mm (24 inches) of parged concrete is allowed.

## d. Masonry Requirements

- Masonry required with a 24" return around all corners. A minimum of 36" high masonry is required.
- Exact stone colors must be separated by 1 lot on the same side of street.
- Approval of masonry selected is based on the masonry style being complimentary to the overall theme and scale of the home.
- Brick is NOT allowed.

## e. Roofing Requirements

- The following Manufacturers, Shingle Series and Colors are allowed:
- IKO Cambridge – Dual Black; Charcoal Grey; Weatherwood; Driftwood (NO Harvard)
- BP Harmony & Yukon – Antique Wood; Stone Wood; Sandstone; Twilight Grey; Beachwood; Brown Stone; Slate Black; Weathered Rock; Shadow Black
- All roof flashing is to blend with the roof color chosen – NO GALVANIZED

## f. Chimneys, Metal Flues, Roof Vents

- All chimney flues more than 24" high and visible from the front of the house or from high visible areas, are to have detailed chimney chases or a boxed in (with top batten) chase using the same finish and detailing as the house.

## g. Driveways, Parking Pads and Sidewalks

- Lot driveway locations specified as per the Subdivision Plan and/or Building Grade Plan.
- Driveways and sidewalks installed by the Builder are to be a minimum broom finished concrete.
- Driveways and sidewalks are NOT permitted to be painted.
- Front drive only - the driveway must be the full width of the garage. Driveway extensions are NOT permitted.
- Parking pads / aprons to be concrete and sized as per the Town of Cochrane requirements.
- A deep-tooled joint is required, a maximum of five feet into driveway from the existing concrete sidewalk or curb and gutter. In the event of any future repair, the deep cut will facilitate better maintenance work.

## h. Accessory Buildings

- Accessory buildings, when constructed, are to conform to the main building in terms of material, color, roofing, style, etc.

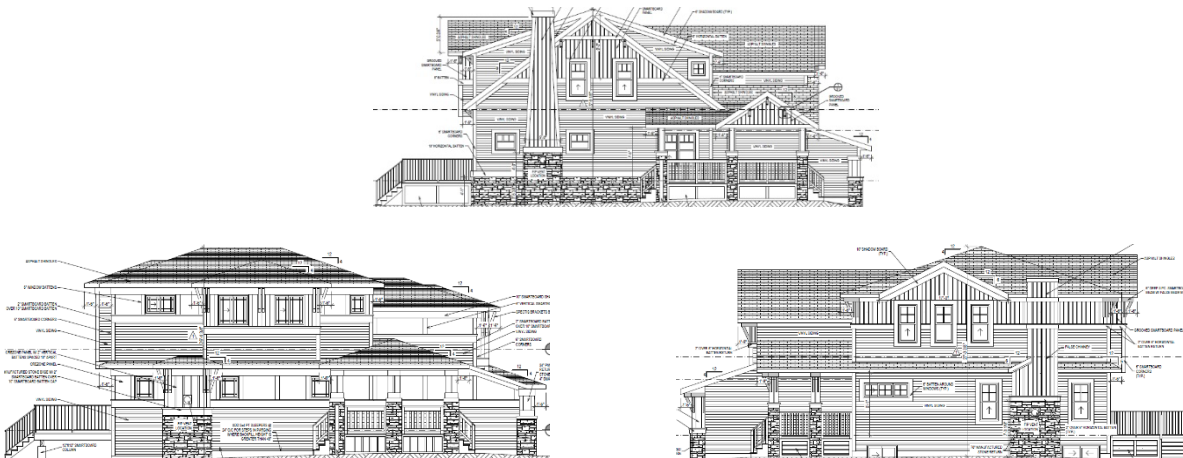
# HIGH PROFILE REAR AND CORNER ELEVATIONS

## a. High Profile Rear Elevation Requirements

- Lots 33 to 53 block 46, lot 70/46 and 19/44 require 6" Smartboard or equivalent battens around doors and windows. (No requirements for battens on remaining lots).
- NO 3 storey clear elevations. A full width rear deck only, is not acceptable – wall breaks required.
- Rear deck columns greater than 4' (bottom of deck plate to grade) require a minimum 12"x12" Smartboard (or equivalent).
- Rear deck plates to be painted or stained in a complementary colour to colour scheme.

## b. Corner and Walkway Side Elevations

- Special attention shall be given to side elevations and side yard setbacks on all corner lots exposed to streets, lanes, parks or walkways. Two storey and 3 storey loft homes may be considered for a corner lot only if significantly upgraded. The Design Consultant reserves the right to request additional upgrading to any proposed side if deemed necessary. The lots affected are: Block 43: Lots 1 & 7 -- Block 44: Lots 11 & 19 -- Block 45: Lots 12, 17 & 28 -- Block 46: Lots 53, 54 & 70
- The side elevations shall have similar treatment as the front elevation, i.e. box outs, battens around windows, shutters, detailed with stone/rock, enhanced or additional roof lines, shakes.
- Minimum 6" battens around all windows and doors on the side elevation required.
- Plans lacking the required detail and architectural elements will be returned to the Builder without review.
- Walkway lots siding onto a wooden fence are required to upgrade the 2nd floor (and above).



Drawings are examples only and may not reflect all Guidelines required



# GRADING, LANDSCAPING AND FENCING

## a. Lot Grading

- The Town of Cochrane's Lot Grading Bylaw must be adhered to and will be strictly enforced.
- Building grades and site grades as specified on the 'Building Grade Plan' by the Engineers are to be strictly followed to maintain a natural visual flow to the development, thus eliminating up and down fluctuations of the rooflines.
- Final grading, drainage and retaining walls are the responsibility of the Builder. Builders are to ensure that all grades/retaining wall locations are correct prior to any construction.
- Retaining walls higher than 24" must have wall material approved by Rohit Land Development prior to commencing construction.

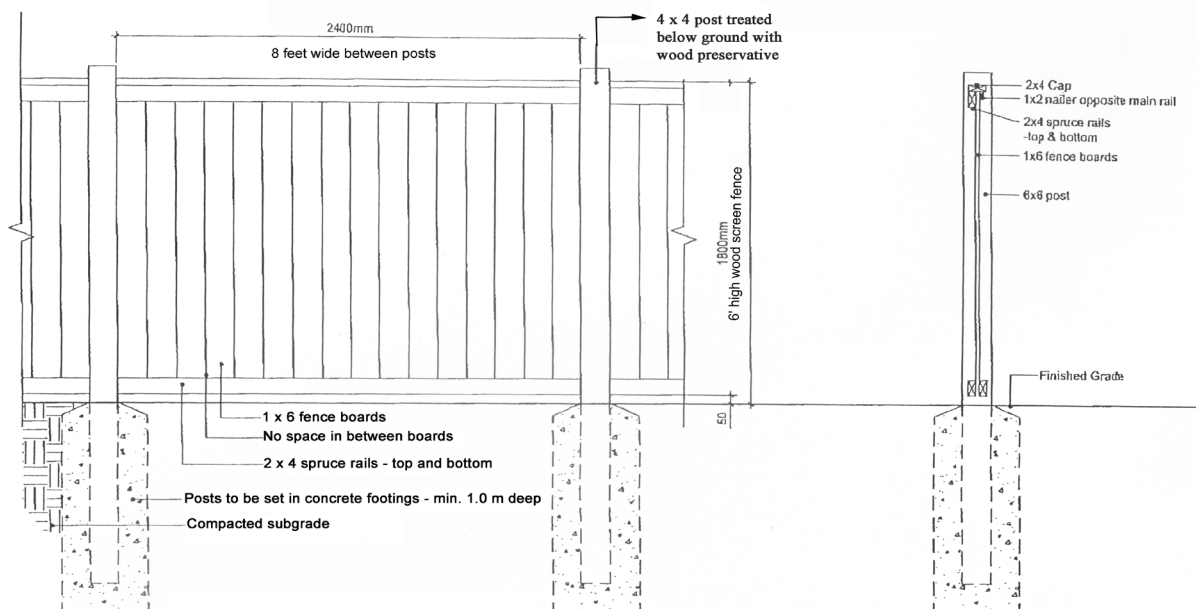
## b. Lot Landscaping and Tree Planting

- The Builder is responsible for loaming front and rear yards,
- Additional landscape requirements per lot type;
  - Front Drive (Non-High Visibility); one tree 6 shrubs in the front yard. One tree in the rear yard (Block 44: Lots 12 to 18 -- Block 45: Lots 12 to 18 -- Block 46: Lots 27 to 30 & 55 to 69)
  - Front Drive (High Visibility); one tree and 8 shrubs in the front yard. Two trees and 6 shrubs in the rear yard (Block 44: Lots 11 & 19 -- Block 45: 12, 17 & 28 -- Block 46: Lots 35 to 50 & 70)
  - Front Drive (Pie shaped lots of High Visibility); One ornamental tree and 6 shrubs in the front yard. One tree and 6 shrubs in the rear yard (Block 46: Lots 33, 34, 51, 52, 53 & 54)
  - Front Drive (Pie Shaped Lot Non-High Visibility); One ornamental tree and 6 shrubs in the front yard. One tree in the rear yard (Block 46: Lots 31 & 32)
  - Lane (High Visibility; Block 43: Lots 1 & 7); one tree and 8 shrubs in the front yard. One tree in the rear yard.
  - Lane (Non-High Visibility; Block 43: Lots 2 to 6); one tree and 6 shrubs required in the front yard.

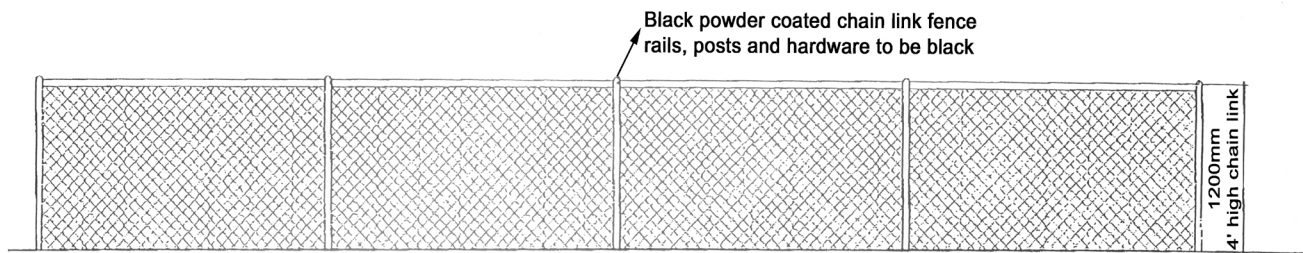
## c. Fencing

- Rear & side yard fencing built by the Homeowner must be built as per the design below in spruce or pressure treated wood. The fence can be left natural or stained with a light stain colour.
- Rohit Land Development will supply cedar fencing on all corner lots; the Homeowner is responsible for the maintenance of the fence. If the fence is damaged or removed, it must be re-built in the exact colour and design as the original fence.

### Wood Screen Fencing Details



## Chain Link Fencing Details



# DESIGN REVIEW PROCESS

## a. Design Submission Process

- Lots must be submitted for Guideline compliance review through LotWorks. Submissions to meet Design Guidelines and all applicable building codes & by-laws for the Town of Cochrane.
- The Design Consultant shall review a design package & one additional review / lot (= 1-2 minor changes only to information) without a change fee applied. Re-submissions requiring more than 1-2 items and/or third submissions and beyond shall be charged a \$100.00 + GST review fee per submission. Builders shall be charged from the Developer (additional fees may apply).
- The grade slip shall be released once the fully submitted design package is reviewed and accepted for Guideline compliance.
- To apply for a design review the following information must be provided (see b. below).

## b. Design Submission Package

- The information below must be provided for each lot submission by the Builder (plot plans are NOT provided by the Developer). If an incomplete submission is provided, the Design Consultant may return it to the Builder without review.

### 1. MATERIAL/MANUFACTURER/COLOUR FORM

- LotWorks Colour Form, completed in full, identifying all material, manufacturer (where applicable), style and proposed colour selections.
- Paint colours reference; Cloverdale, General Paint, Dulux, Sherwin Williams, Benjamin Moore, or Builder to provide a web-link to the proposed colour and / or a sample for review if requested by the Design Consultant.

### 2. PLOT PLAN

- scale 1:200 metric, north arrow, municipal address
- property legal description, lot area, site coverage, all property lines with dimensions.
- size and location of proposed building(s) setback to property lines, existing buildings, and other structures where applicable
- all cantilevers (including floor, bay windows, fireplaces, etc.)
- abutting streets, lanes, reserves, easements, utility rights-of-way etc. labeled & dimensioned
- corner point grading to buildings and overland drainage directions
- identify the slope percentage number for all grading away from the home (and garage if applicable)
- locate the engineer specified grading at the locations identified on the Grade Plan Map legend
- Identify any additional proposed grading locations (from front or rear corner) along the property line
- dimensions from property line to sidewalk and curb face
- elevation of top of footing, main floor, garage, and landscape at front, rear and sides of house

### 3. BUILDING PLANS

- scale of 3/16" = 1'0" or metric equivalent, fully dimensioned, accurately figured & complete
- plans of all four elevations, floor plans of basement and all floors
- sizes of windows, doors, heights, etc., exterior finishes

### c. Review Process

- Guidelines must be adhered to. Elevations, plot plan or colour form lacking the required detail & architectural elements are not acceptable & will be returned to the Builder without review.
- The Design Consultant will make every effort to supply the Builder with a grade slip & the submission's review within 5 working days from the date of receipt of a complete submission.
- The Builder is responsible for reviewing the returned information prior to applying for a building permit and home building. The Builder is also responsible for adherence to, and compliance with, all Building Codes, Land Use Bylaws, Restrictive Covenants, Caveats and any such other local municipal, provincial or federal rules, regulations or guidelines affecting the development of the property. Upon review and release of the grade slip, the Builder may submit to the Town of Cochrane for a building permit.
- Rohit Land Development may conduct periodic architectural inspections during construction to ensure compliance with approved plans. Modifications may be requested by the Builder in writing to accommodate changes related to actual site conditions.
- Acceptance and / or interpretation of any of the enclosed Design Guidelines or amendments to the Design Guidelines shall be at the sole discretion of the Design Consultant and Rohit Land Development, whose decisions shall be final. Requests for exemptions will not be granted at the expense of quality, but may be justified in circumstances of alternate, similar, or better quality. It is recommended Builders submit preliminary drawings if collaborating with clients on custom homes and / or for homes situated on lots with unique or unusual configurations.

### d. Final Lot Inspection Process

- The Builder must formally request via email (no Homeowner requests will be accepted), a Final Home & Lot Inspection to the Design Consultant i.e. [chume@summaconsulting.ca](mailto:chume@summaconsulting.ca) once the requirements below have been completed. Please ensure to add the lot/block/phase and area in the subject line for all emails to Summa.
- The Builder must attach in LotWorks, under 'Final Inspections', PDFs of the final issued, 'Lot Grading Inspection Report' and the 'Certificate of As-Built Grades (Lot Grading Certificate) in order for Summa to proceed with the final inspection.
- All exterior elements (home, final grading and landscaping) must be completed as per required in the Architectural Design Guidelines and the final approval issued by the Summa.
  - Curb stop is on, or close to grade, exposed, clear of debris and is fully operational. All sleeves must be cut to grade
  - All sidewalks and curbs must be clean and free of debris
  - All exterior home features, as approved through the design review process, are complete.
  - All decks completed and painted as per Guideline requirements (unless pressure treated allowed)
  - Walks and driveways are poured and must be swept
  - The landscape is completed as per the Guideline requirements (see page 8)
- If all requirements have been deemed satisfactory from the final home & lot inspection, Summa shall forward the information to the Developer and/or advise the Builder if there are any additional outstanding issues with the Final Home & Lot Inspection that would affect the release of the Landscape deposit.
- Additional site inspections and/or photo reviews required due to any outstanding issues identified in the Summa Final Home & Lot Inspection shall be charged a re-review fee to the Builder (from the Developer – additional fees may apply) per visit and/or Builder emailed photo review of the revised (if option available).

## CONSTRUCTION REGULATIONS

### a. Storage of Materials and Equipment

- Builders are permitted to store construction materials and equipment on their construction sites during the construction period. All materials and equipment shall be neatly stacked, properly covered and secured at the end of each day. Any storage of materials or equipment shall be the Builder's responsibility and at their own risk. Builders shall not disturb, damage, or trespass on other lots or adjacent property. No building materials may be placed on any lot for more than seven days before beginning construction.
- Use of lots adjoining construction sites which are sold to other Builders, or the use of lots which remain available for sale, or the use of the adjacent street is prohibited.
- Building materials or equipment is not to be stored on public streets or sidewalks.
- Washing and cleaning paints, stains or other coatings or solvents, and cleaning concrete trucks is strictly prohibited.

## b. Use of Site

- Builders shall provide containers for debris and shall clean up all trash and debris on the construction site daily. Debris containers must be placed on the lot under construction and must not be placed on streets, sidewalks, or adjoining lots. Trash and debris shall be removed from each construction site in a timely fashion. All containers must be covered. To prevent wind from blowing materials off the construction site. Builders are prohibited from dumping, burying or burning trash.
- During the construction period, each construction site shall be neat and properly monitored to prevent it from becoming an eyesore or affecting other lots or adjacent property. If the site is not maintained, any clean-up costs will be assessed to the Builder responsible.
- When moving heavy equipment on site, precautions must be taken to prevent damage to roadways, curbs, sidewalks and landscaping. Any damage will be assessed to the Builder responsible.

## c. Sanitary Facilities

- Each Builder shall be responsible for providing temporary sanitary facilities for its construction workers in compliance with the Public Health Act of the Province of Alberta.

## d. Noise and Pets

- The use of radios etc. must be restricted so as not to be audible from any adjoining lots or streets. Dogs must always be under their owners' control. The dogs' owners are responsible for cleaning up after them in a timely fashion.

## e. Restoration or Repair of Damaged Property

- Damage and scarring to any other Heartland property, including but not limited to other lots, roads, driveways and/or other improvements will not be permitted. If any such damage occurs, it shall be reported to Rohit Land Development immediately.

## f. Vehicles and Parking

- The Builder's crew(s) shall not park on or otherwise use other lots. Construction shacks and trailers are not permitted to be left overnight without Rohit Land Development's approval.

## g. Miscellaneous and General Practices

- **Maintenance & Durability** - Builders are encouraged to use materials that are low or no-maintenance, durable, and environmentally friendly.
- **Town regulations:** Issuance of a Grade Form by Rohit Land Development or the Design Consultant in no way absolves Builders from compliance with all Town and Provincial statutes.
- **Start:** Site work must NOT commence prior to final design review and building permit issuance.
- **Footing elevations:** Builders should note footing checks will NOT be carried out in this area. Builders are responsible for footing elevations. Please be advised that if a grade conflict should arise and a Builder requests a survey, the Builder shall pay all costs incurred if they are +/- 0.1m or greater from the approved elevation.
- **Corrections:** Footing elevations greater than 0.1m from approved (if the change meets with all other rules and regulations, i.e. LTF) discovered after commencement of construction shall be corrected by the Builder.
- **Pre-inspection:** Builder must pre-inspect their lot for damages to services, sidewalks, curbs, fences, landscaping, utility boxes, or light standards and clearly list damages (i.e. 2 monos cracked, 1 flag with large chip, etc.) in LotWorks.
- The Builder is responsible for erosion control during the construction period. At the request of Rohit Land Development, silt fencing may be required along property lines. Erosion control is especially important on construction sites adjacent to existing homes already final graded. On such sites, silt fencing or equivalent must be installed the entire length of the property line prior to excavation of the basement. The silt fencing must be maintained until the landscaping of that home is complete. It is the responsibility of the Builder or homeowner to remove the silt fencing.

## h. Non-Compliance

- In the event of non-compliance with the Guidelines, Rohit Land Development shall have the right, but not the obligation, to hire a contractor or contractors to perform the work and /or furnish the materials necessary for compliance at the Builder's expense including, but not limited to:
  - Deviation from approved building plans
  - Any construction practices that damage the site or otherwise contravene regulations.
  - Damages to, the curb stop, sidewalks, curbs and gutters, asphalt, boulevard landscaping and trees, light standards, fire hydrants, cathodic protection points, drainage swales and fencing.
  - The builder shall be invoiced for cost plus 10%.

## OTHER INFORMATION

- It is the responsibility of the Builder to ensure that house plans do not conflict with utility rights-of-way, easements etc.
- The information in this document is a guideline and variations may be approved at any time without notice, if deemed appropriate by the Design Review Committee.

## DIRECTORY OF CONTACTS

### Developer:

---

Rohit Land Development  
Phone: (780) 436-9015

Lot Sales and Administration  
Email: [Lot.sales@rohitgroup.com](mailto:Lot.sales@rohitgroup.com)

### Exterior Design Review:

---

Summa Consulting Ltd.  
Phone: (403) 283-9999

Carol Hume, Exterior *Design Consultant*  
Email: [chume@summaconsulting.ca](mailto:chume@summaconsulting.ca)

### Design Review Committee:

---

Lot Sales and Administration - Email: [Lot.sales@rohitgroup.com](mailto:Lot.sales@rohitgroup.com)  
Carol Hume, Exterior Design Consultant – Summa



